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WEST BEAR HAVEN

Architectural Controls

1.0 CONCEPT

West Bear Haven is a distinctive neighborhood associated with the Jack Nicklaus Signature Golf Course. It is designed to provide a quality estate community projecting a distinctive ambience that reflects the significance and stature of the course.

The philosophy of the architectural guidelines is focussed on providing a quality living environment with a consistent and identifiable community image, yet one that offers variety and choice to the individual owner.

The design guidelines have been purposely minimized but **the underlying criteria for any and all development will be quality.** Applicants may provide alternate details to those outlined provided it is demonstrated that overall quality and stature is being maintained.

It is required that, whatever house design is submitted for consideration and review, a high level of design addressing the following be achieved throughout each individual home within the community:

- Siting
- Massing and proportions
- Elevations
- Detailing
- Landscaping

1.1 ARCHITECTURAL STYLES

The general architectural theme for West Bear Haven encourages homes in a traditional heritage style – Tudor, Queen Anne, Victorian, French Gothic, French Country, Prairie Style, etc.

Some examples have been included at the end of these guidelines and it is recommended that the home owner further research styles and become familiar with the correct details of the housing style of choice. The correct and appropriate massing, proportions and detailing – true to the style – are critical to the architectural merit of the home and are elements that communicate the quality of the design.

Contemporary house designs may be considered, providing the plans address the following:

- Color, including trims, must be consistent with the rest of the development and/or adjacent residences.
- Massing must complement the scale and roof slopes of more traditional housing styles..
- Elevations must avoid large expanses of uninterrupted wall surfaces.
- Details should incorporate a level of sophistication and interest when addressing parapets, roof overhangs, trim materials and window/door treatments.

No two houses in West Bear Haven can have the same or very similar exterior design, no matter where their location in the development.

1.2 DWELLING SIZE

1.2.1 AREA

Minimum house sizes required for all lots are as follows:

Bungalows:		1600 s.f.
Side splits:	Total area	2200 s.f
	Footprint	1200 s.f.
Two-storey:	Total area	2400 s.f
	Footprint	1200 s.f.

All areas are measured to the outside exterior wall of the building. The developer at its sole discretion may allow a deviation of up to 5% below each of the above areas.

1.2.2 BUILDING HEIGHT

The maximum building height is 10 m (32.8') and 2 1/2 storeys as set in the Land Use Bylaw of the County of Strathcona.

1.3 COUNTY OF STRATHCONA LAND USE BYLAW

Formal standards for development will be those established in the County of Strathcona Land Use Bylaw. Specific reference should be made to the County of Strathcona requirements in all areas and under no circumstances shall conformance to these guidelines supersede the process or requirements of the County of Strathcona approval process.

2.0 SITE DESIGN

Initial and lasting impressions of the development will be as a result of the overall relationship of buildings to each other and to the street, and the quantity and quality of the landscaping. These relationships should present an image of quality estate living and the guidelines encompass criteria to help achieve this vision. The criteria allow flexibility of approach to achieve an "estate" ambience.

2.1 SETBACKS/SEPARATION SPACE/HOUSE LOCATION

A maximum envelope within which the Owner can locate the building has been established and shown on the attached Building Envelope Plans. A large scale copy is available from the office the Developer.

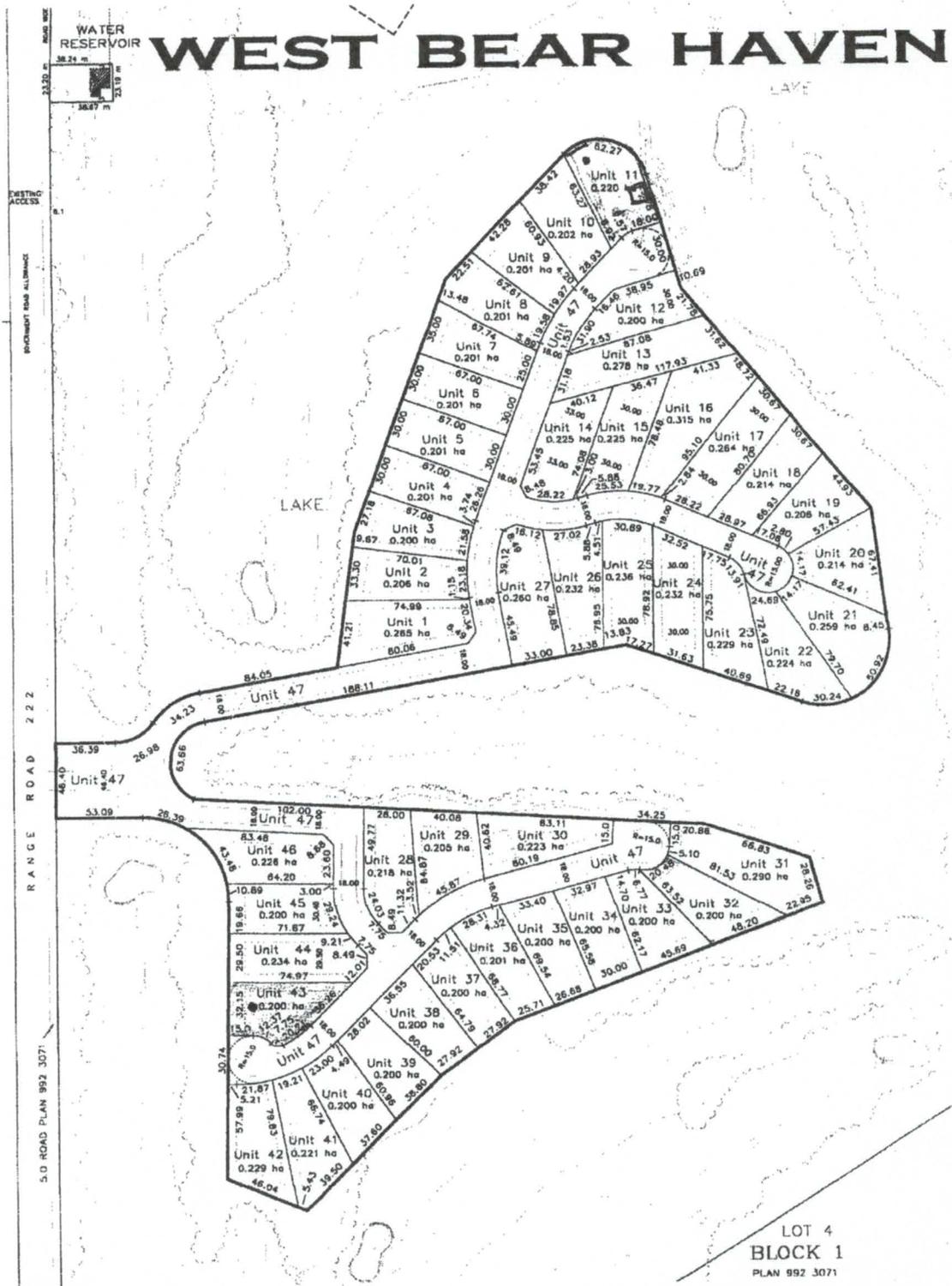
No buildings, portions of building, overhang, elevated decks, accessory building, parking areas, etc. will be allowed to be built within any of the setback or separation spaces located beyond the building envelope. Exceptional cases will be considered based on specific sites and the merit of the design.

Setbacks have been established as follows:

Front yards	7 meters (23 ft)
Sideyards	5 meters (16.4 ft)
Rear yards	10 meters (32.8 ft)

On a corner site where the building fronts onto either the front yard or the flanking public road, the corresponding side yard shall be 5 meters. Within the Building Envelope Plan, site coverage is governed by the County of Strathcona Land Use Bylaws. Dwelling location within the Building Envelope Plan is not restricted, subject to conformance with the other guidelines. This will allow the homeowner the greatest degree of flexibility to take advantage of existing trees, views, sun angles, etc., and will engender an "estate" quality to the development.

2.2 BUILDING ENVELOPE PLAN



2.3 LOT GRADING

Lot grading is to follow the natural slope of the land form and is to be consistent with the Subdivision Grading Plan. The minimum slope allowed is 2% and the maximum slope is 5%. Placement of landscape materials and/or beams must not alter the drainage pattern for the lot as defined in the Grading Plan. Final grade certificates must be prepared by the Surveyor showing that lot grades comply with the Subdivision Grading Plan as a condition for refund of security deposit.

2.3.1 GENERAL LOT GRADING

Lot grading should be reflected by the building massing (i.e., step floors, walk-out basements, etc.) to situate the house in a natural relationship with the contours of the land. This will help to minimize the need for grades steeper than 3 to 1.

All plot plans will be prepared by West Bear Haven's designated surveyor. Staking out of the homes will be jointly carried out by the builder, the designated surveyor, and the developer at the owner's expense. This procedure will facilitate establishing building elevations that are appropriate for the on-site grading conditions.

2.3.2 SIDE YARD GRADING

In addition to the critical grade control points at the corner pins of the lots, the grade elevations along the entire length of the side property lines will also be important considerations.

The developer and its consultants reserve the right to adjust all the grading requirements between units after both the affected homes have been submitted. A co-ordinated grading review will be carried out to ensure that the proposed final grades of the first house submitted do not adversely effect the adjacent house. The final grading requirements will be balanced to the mutual benefit of both houses.

Particular attention is to be given to the sideyard grading for those lots with front to back falls and/or side to side falls. In the case of a side to side falling lot, the base of the steps for any side door access must be approximately equal to the level of the driveway at the garage door. For those lots with grades generally falling towards the back yard, the base of these steps is to be lower than the level of the driveway. Keep in mind that in these cases, modifications to the exterior cladding might be necessary to ensure that the maximum 2' parge line is maintained.

2.4 GARAGES AND OUTBUILDINGS

All garages shall be designed to compliment the house or be an integral portion of the house design. Care should be taken to design the garage so as not to overwhelm the house. Any garage face that is predominantly visible from the street will require articulation. Long uninterrupted planes of walls will not be permitted. Blank walls visible from the street are not acceptable. All lots must be provided with at least a double attached garage. Garage doors must have an articulated face design such as panelling and must be constructed of wood or insulated metal. Triple garages shall have the doors installed so that no door is wider than a double garage door width.

Garages will not be permitted as part of the ground floor plan with the door facing the street.

Garages shall feature a hipped roof, sloped on all sides. Garage facades facing the street must provide articulation or architectural features above the eave line to reduce the height.

Outbuildings must be designed and constructed to match the same style as the house and should be of the same materials as used for the house. Placement of these buildings should be carefully considered and their impact, particularly on the golf course, minimized. Applications for approval are to indicate proposed locations for outbuildings.

2.5 DRIVEWAYS

The desirable driveway slope is 8% or less. The absolute maximum is 10%. Driveways and front walks are to be one of the following:

- Exposed aggregate (maximum aggregate size 3/4" diameter)
- Concrete paving stones
- Stone
- Concrete with brick edging
- Concrete with inlaid brick or stone pattern
- Asphalt is allowed beyond the first 30' as described below.

To preserve the quality of the subdivision's streetscape, all driveways will follow the guidelines for the first 30' with an ornamental pilaster or landscaping to terminate the recommended driveway guideline. Maintaining driveway guidelines for some lots may be extensive and prohibitive in cost due to house siting and subdivision layout. In such circumstances, on a lot by lot basis the developer and its consultants will evaluate the applicant's alternatives to the guidelines.

3.0 LANDSCAPING

The West Bear Haven developer has maintained significant tree coverage as part of the overall plan to maintain privacy as well as the ambiance of a country estate. Landscaping concepts for the housing development should respond appropriately to the natural setting and coordinate additional landscaping elements and planting to match the existing materials. It will be important that initial landscape plans are submitted at the approval stage defining the nature and intent of future landscaping emphasizing a blending with the natural feel expressed by the golf course.

3.1 TREE RETENTION

Existing trees outside the building footprint are encouraged to be retained. If removal is required, due to exceptionally well sited houses or safety reasons, the applicant during the preliminary submission for approval shall identify the trees to be removed.

3.2 YARD LANDSCAPING

Landscaping of the yards should be designed to enhance individual homes and specific sites. Plants selected should be of species compatible with the existing setting, existing species, and compliment the house, adjacent lots, and the golf course. Proposed landscaping concept is required to be identified on the site plan during the preliminary submission for approval.

3.3 FENCING/SCREENING OF RECREATION VEHICLES

West Bear will require uniform fencing of lots. All fencing within the subdivision will be co-ordinated in terms of both design and extent. The developer will provide a 4' high green vinyl chain-link fence with powder-coated green posts on the back perimeter of all lots. Between properties, fences should conform to the same standards to a maximum of 5' in height. Planting in conjunction with the fencing will be allowed.

Recreation vehicles, satellite dishes, and commercial vehicles in excess of a 3/4 ton capacity shall not be stored in the front yard or driveway of any property between the building line and the curb. If otherwise stored on site, the vehicles shall be screened with planting to reduce unattractive visibility of such vehicles from abutting streets, adjacent homes, and the golf course.

3.4 RETAINING WALLS

When retaining walls are required in the front yards and the front 50% of the side yards, they are to be constructed as follows:

- For houses using brick or natural stone for the exterior cladding, retaining walls shall be constructed of concrete, faced with brick or natural stone incorporating a cap detail of the same or compatible material.
- For houses using stucco or wood siding as an exterior cladding, retaining walls shall be constructed of washed aggregate concrete complete with a brick or concrete cap detail.
- Retaining walls in excess of 4' shall be stepped to reduce the wall's visual mass. The use of wood as a structural material for retaining walls will be permitted only within the rear 50% of the sideyards and 100% of the rear yards if the retaining wall does not face the golf course.
- Alternate retaining wall designs may be submitted provided that it is demonstrated that the wall is congruent with the house design.

4.0 BUILDING DESIGN

All building facades are to be designed with care and attention to detailing of finishes and materials. Side elevations that are highly visible from the street or the golf course should continue the design and the use of materials and detailing used on the front of the house. The rear facades of houses in West Bear Haven in certain locations are very prominent. They will be viewed from various locations throughout West Bear Haven and from the golf course. The developer encourages a similar high degree of detailing and materials as the front of the house.

4.1 CORNER LOTS

Corner lots (numbers 1, 14, 27, 28, and 46) shall be built either as bungalows or as side split houses. In the latter case the side facing West Bear Haven Boulevard must be designed to present the look of a single storey. In addition, the following features will be required:

- Roof planes must wrap around exposed building faces
- The principal roof planes must slope toward both street frontages
- Both facades must be designed as front elevations
- Retaining walls should be avoided adjacent to street frontages
- Windows should be incorporated on the side elevations
- Wrap-around decks are encouraged

In the case of a side split, the second storey wall facing the side road must be set back a minimum of 10' from the face of the secondary elevation.

4.2 REAR FACADES

Rear facades, due to the visibility as mentioned above, should be enhanced through the use of architectural features, i.e., projections, bay windows, dormers, gables, etc.). The rear facades of walk-out units where more than two storeys are visible above grade require additional attention to design detail. Continuous three-storey facades will not be permitted. Building setbacks on floors, balconies, deck construction, or other methods must be used to break up the apparent height. "Punched" windows with no features or decoration will not be allowed on rear facades. Other decorative features such as muntin bars, cornice, etc., may be required.

4.3 GARAGE TREATMENT

Garages must be designed as an integral part of the home. **Garages will not be permitted as part of the ground floor plan with the door facing the street.** See Section 2.4.

4.4 EXTERIOR MATERIAL AND FINISHES

Special attention should be given to selection of exterior finishes and detailing that will be compatible or characteristic of the style or period design of the dwelling. There are to be no "false fronts." The dominant material of the front elevation must be carried through all remaining elevations and accessory buildings. Detailing of the exterior finishes must also be carried through all remaining elevations and accessory buildings.

- A maximum of two predominant materials is allowed on the exterior of the house on all facades.
- All foundation wall concrete exposed above grade shall be parged, maximum 2' exposure.
- Accent materials must be used logically and consistently. It should suggest structural support to avoid the appearance of a veneer application.
- Allowable materials include brick, stone, bevelled wood siding, and cedar shingles.
- Stucco may be used but only with a sand float finish and only in combination with sufficient contrasting details. Stone dash stucco or swirled patterns will not be permitted.
- Brick and stone work is to be quiet and uniform in color.
- The use of multi-colored stone work or extensive use of stone jumpers will not be permitted.
- Cedar shingles will have a maximum exposure of 6" and the application of decorative shingles shall be characteristic of the style or period design of the house.
- The allowable siding material will be placed horizontal and with a maximum 5" exposed profile.

- Vertical wood siding and battens in the Arts & Crafts style is permitted.
- The front application must be carried a minimum of 6' around the side of a building, unless there is a logical stop line. This type of façade application is discouraged.
- Other materials may be approved at the sole discretion of the committee on an individual application basis. An approval of a material on one house shall not constitute a precedent for the use of that material on other houses.

4.5 EXTERIOR ELEMENTS AND FEATURES

Exterior elements should be carefully detailed to reflect the overall theme of the design concept of the housing style. The main entrance to the house should be accentuated with architectural features such as arched or fan windows, porches, archways, etc. Some degree of transparency, either through the use of sidelights or fan lights in the door, is encouraged. Entrance way design should project an inviting and distinguished image.

Traditional window types, such as awning, casement or double hung, should be used. Their proportions and style again should suit the overall theme of the house. Window lintels and sills should be designed to create visual interest through the use of keystone masonry accents or borders.

Entrance gates or landscaping as discussed for the driveway entrances (Section 2.5) should be designed to match the style of the house.

Railings to rear decks should be transparent and should carry the same attention to detail as the rest of the house. They should relate specifically to the chosen period style of the house. Decks should be supported on beams spanning between columns and visible below deck. Column size should be a minimum of 10" square embellished with capitals, bases, or other similar details and clad in the predominant or accent material for the house.

4.6 ROOFS, EAVES, SOFFITS

Roof materials used are to be congruent with the period style of the house. Materials approved include cedar or treated pine shingles/shakes, flat concrete roofing tiles, or high-end asphalt shingles that provide a slate/tile appearance. All roofing colors must be subdued and natural.

Special attention is to be given to roof overhangs and roof drainage in relation to the style of the house. The appropriate overhang shall be provided for the house design, i.e., Prairie style, 6'; Georgian style, 1', etc. Two rain eaves trough treatments are allowed – they can be either an exposed eaves trough mounted to a 10' deep fascia board, or the recommended concealed gutter detail. Rainwater leaders and eaves troughs should match the fascia color and be painted out to match the background surface. Prefinished aluminum fascias are acceptable and must match the trim color of the house.

Soffits other than flat/perforated prefinished metal are encouraged. Flat soffits that extend beyond 400 mm may be required to include additional detailing.

4.7 CHIMNEYS/FLUES

Chimneys are to be brick, stone, or to match the exterior finish used on the house. All chimneys will require a chimney cap. Brick and stone should be corbelled or have a decorative concrete flue cap. All chimneys and chimney caps shall have a design characteristic with the style of the house.

Exposed stainless steel flues will not be allowed on any façade. Exposed direct-venting flues will not be allowed on the front façade. All roof stacks, flashing, etc., are to be painted out to match the eventual weathered appearance of the roofing material.

4.8 COLORS

All exterior color schemes must be approved. In general, guidelines for colors are towards the natural expression of materials, i.e., stone, brick, wood. Houses with schemes that are deemed to detract from the street setting and golf course will be rejected.

The color of the garage door must be in the same range as the predominant color of the house. No two adjacent houses may have the same predominant or accent color unless it is the color of a natural material. Bright accent colors are not allowed and accent colors must be complementary to the house colors.

4.9 FIRE PROTECTION

Homeowners and designers should be aware that the County of Strathcona Bylaws require a home sprinkler system for fire protection.

5.0 APPROVAL PROCESS

Prior to construction, all projects in West Bear Haven must have the approval of the developer's Architectural Review Consultants/Committee. All builders/owners must follow the submission requirements outlined below. The committee, at its sole discretion, reserves the right to accept or reject the submission. Approved applications do not constitute a precedent for any subsequent application on other lots.

This review process does not pre-empt any other approvals or bylaw fulfilments required by the County of Strathcona or other authorities that may have jurisdiction. The builder/owner is solely responsible for ensuring that the requirements of all laws, regulations and statutes in force at the time of the application are met. Design review does not relieve the builder/owner from meeting the requirements of the Alberta Building Code in effect. An approval by the committee only means that the proposed design meets the design intents of these guidelines. It does not mean that the committee endorses or supports the design, or has reviewed the construction methods proposed by the builder/owner.

The developer reserves the right to make minor amendments, modifications or alterations, or to waive the requirements of these architectural control guidelines as they may apply to any lands within the West Bear Haven development subdivision. The committee reserves the right to accept or reject a submission based on its ability to meet with the intent of the guidelines for West Bear Haven.

ARCHITECTURAL CONTROL REVIEWS COMMITTEE

The developer convenes an Architectural Review Committee at regular intervals to evaluate each application. The contact for this committee is

ziola newstudio architecture inc.

111, 10265 107 Street
Edmonton, Alberta T5J 5G2
phone: 780.488.9992
fax: 1.877.817.9572
info@newstudio.ca

5.1 PRELIMINARY SUBMISSION REQUIREMENTS

The approvals process is in two stages. The builder/owner is required to make a preliminary submission prior to the full application. The purpose of the preliminary submission is to ensure that, in principle, the proposal conforms to the requirements of these guidelines, and to avoid subsequent revision costs and delays to the builder/owner. An approval by the committee at this time does not constitute an approval of the full application. The preliminary submission should include:

- Two copies of a preliminary plot plan at 1:100 or 1/8" = 1'0" indicating setbacks and driveways proposed, outbuildings and any other outdoor amenities such as decks or swimming pools.
- Two copies of floor plans, 1:50 or 1/4" = 1'0" indicating areas
- Two copies of elevations, 1:50 or 1/4" = 1'0" in sufficient detail to show the intent of the design
- Schedule A, Preliminary Application for House Plan Approval

The committee shall review the drawings and recommend approval or rejection of the initial submission based on adherence to the guidelines.

The committee may recommend changes in siting, style, house design, and exterior finishes to maintain the quality and natural setting of the subdivision and golf course.

A copy of the material will remain with the committee for future reference. A copy of the material indicating revisions, if required, will be returned to the applicant for implementation into the final submission.

5.2 FINAL SUBMISSION REQUIREMENTS

The applicant shall submit the following information which incorporates the required revisions from the initial submission, along with a refundable security deposit of \$5,000. A standard \$1,000 fee for the review, approval, and inspection process will be paid by the developer. Higher fees may apply if several reviews/submissions are required to meet compliance with the architectural guidelines; those costs will be borne by the applicant. The deposit of \$5,000 in trust will be refunded at the completion of the site work and exterior construction (see Section 5.8).

A full application must include the following items:

- One copy of the developer's completed Schedule B, Application for House Plan Approval Form. Copies of forms are enclosed with these guidelines, and must be duly completed in its entirety. Incomplete forms may stall the review process until all the information is received.
- A sample board of materials and colors. Each color scheme submitted is to be accompanied with exact color chips or samples of materials and specifically identified as to location and extent.

- Two copies of :
 - Floor plans, elevations and building sections at 1:50 or 1/4" = 1'0"
 - Site plan at 1:100 or 1/8" = 1'0" indicating, complete with dimensions,
 - Location of house
 - Location of accessory buildings
 - Extent and type of landscaping
 - Location and sizes of driveway and walkways
 - Lot grades
 - Floor elevations
 - Location of any decks, pools, retaining walls, or other constructions

The committee will review the final submission in relation to the approved preliminary submission to ensure consistency. Approval shall be given in writing by the committee and one copy of the final submission will be returned to the applicant. Incomplete applications will be returned to the applicant.

Any changes by the applicant or the builder to the approved plans must be submitted to the committee and approved in writing. Extensive revisions requiring a full review may be subject to additional review charges payable by the builder/owner.

5.3 BUILDING PERMITS

It is the sole responsibility of the applicant or the builder to receive a building permit from the County of Strathcona before proceeding with construction.

5.4 SURVEY AND STAKING

Plot plans will be prepared by West Bear Haven's designated surveyor. Staking out of the homes will be jointly carried out by the builder, designated surveyor, and West Bear Haven.

Refer to Section 2.3.1.

5.5 INTERIM CONSTRUCTION REVIEW

The developer or its consultants may carry out periodic site reviews of the house during construction to ensure conformance to approved grading plans and development guidelines. Modifications may be requested related to actual site conditions.

5.6 CONSTRUCTION ACTIVITY

Each applicant must inspect the condition of the local improvements installed by the developer, including, but not limited to, curbs, gutters, sidewalks, etc., in, on, or around his lot prior to commencement of construction in order to determine if any of these local improvements are damaged. Written notice of any damages must be submitted to the developer prior to the commencement of construction, otherwise the cost of repairing these damages shall become the sole responsibility of the applicant.

The applicant and his contractor are required to keep the site clean and orderly during construction. Garbage must be carried away periodically and any applicant and/or contractor found negligent will be back-charged for cleanup carried out by the developer.

No trees, shrubs, lawns, fencing, buildings, or other site improvements should be allowed to fall into a state detrimental to the subdivision or golf course.

The owner will not be required to begin construction within any specified time period; however, once the owner has commenced construction, site and exterior construction must be completed within 12 months.

5.7 SIGNAGE

Contractors' identification signage for the delivery of materials shall be restricted to 16 square feet and secured by posts at the entrance to the lot, to a maximum height of 6'. Attaching signage to existing trees, the house, or spray-painting script on the house will not be allowed.

5.8 FINAL CONSTRUCTION APPROVAL

Upon being advised by the contractor of the exterior completion of the house, including all landscaping and exterior improvements, the developer and/or its consultant shall carry out a site review to confirm conformance to the approved plans. Upon being advised that the landscaping has been completed, the developer's surveyor shall inspect the lot grading to ensure compliance with the subdivision grading plan. The owner/builder is to supply the real property report as prepared by the designated surveyor at the owner/builder's cost and, upon inspection confirming no damage to curbs, gutters, roadways and no debris left on attached lots, the deposit will be refunded. Both inspections will form the basis of the refund of the security deposit.

5.9 RESTRICTED COVENANT

To maintain and enforce guidelines the developer will register a restricted covenant. All costs related to enforcement of guidelines shall be borne by the owner.

SCHEDULE A
PRELIMINARY APPLICATION FOR HOUSE PLAN APPROVAL

Applicant:

Name: _____ Telephone: _____

Address: _____ Postal Code: _____

Subdivision Lot No.:

Legal Description: Lot: _____ Block: _____ Plan No.: _____

Civic Address: _____

Siting:

Setbacks: Front _____ Rear _____ Left Side _____ Right Side _____

Building Height: _____

Design:

House Design _____ Style _____

Area: Ground Floor _____ m² _____ s.f.

Second Floor _____ m² _____ s.f.

Total Floor _____ m² _____ s.f.

Form: Roof Style: _____ Roof Pitch/Slope: _____

Materials

Roof Material: _____

Wall Material: Primary: _____

Secondary: _____

Tertiary: _____

Trim Material: _____

Soffit Material: _____

Driveway material: _____

Walkway Material: _____

Use of House Plan Approval Services

The applicant acknowledges that the house plan approval is provided as a service and that the developer and its designated consultant assume no responsibility for the accuracy of the information provided, or for any losses or damages resulting from use thereof.

The applicant further acknowledges that he will hold the developer and its designated consultant harmless from any action resulting from the use of this information.

Date: _____ Signature of Applicant: _____

SCHEDULE B
APPLICATION FOR HOUSE PLAN APPROVAL

Applicant:

Name: _____ Telephone: _____

Address: _____ Postal Code: _____

Subdivision Lot No.:

Legal Description: Lot: _____ Block: _____ Plan No.: _____

Civic Address: _____

Siting:

Setbacks: Front _____ Rear _____ Left Side _____ Right Side _____

Grading: Lot Corners Front RT: _____ LT: _____ Rear RT: _____ Rear LT: _____

Intermediate Lot Points Front: _____ Rear: _____ Left: _____ Right: _____

Basement Elevation: Main Floor: _____ Second Floor: _____

Conformance to setback and lot grading requirements are the responsibility of the contractor.

Building Height: _____

Design:

House Design _____ Style _____

Area: Ground Floor _____ m² _____ s.f.

Second Floor _____ m² _____ s.f.

Total Floor _____ m² _____ s.f.

Form: Roof Style: _____ Roof Pitch/Slope: _____

Materials

Roof Material: _____ Color/Manufacture/No.: _____

Wall Material: Primary: _____ Color/Manufacture/No.: _____

Secondary: _____ Color/Manufacture/No.: _____

Tertiary: _____ Color/Manufacture/No.: _____

Trim Material: _____ Color/Manufacture/No. _____

Soffit Material: _____ Colour/Manufacture/No.: _____

Driveway material: _____ Finish/Border: _____

Walkway Material: _____ Finish/Border: _____

Use of House Plan Approval Services

The applicant acknowledges that the house plan approval is provided as a service and that the developer and its designated consultant assume no responsibility for the accuracy of the information provided, or for any losses or damages resulting from use thereof.

The applicant further acknowledges that he will hold the developer and its designated consultant harmless from any action resulting from the use of this information.

Date: _____ Signature of Applicant: _____

SOME EXAMPLES OF
ARCHITECTURAL STYLES

ENGLISH TUDOR



As the popular style of British architecture between the late 1400's and the early 1600's, classic Tudor reflects an era of evolution, innovation and the melding of form with function.

Its design elements - shaped by considerations of lifestyle, climate, available materials and building techniques in pre-industrial age England - have successfully spanned both distance and time to reach across the Atlantic and nearly half a millenium.

ROOFS

Appreciating the abundance of rainfall in the English climate, many Tudor homes had steep-pitched, side-gabled roofs. Hipped-style roofs modified with gables were also used.

In some cases, several small gables were incorporated in designs, such as on dormers projecting through hipped roofs. Within these gables, vents were a distinctive architectural feature.



wood vents

WALLS

Using commonly available building materials, various combinations of stone, brick, stucco and timbers were and are prevalent traits of this style.

Half timbers imbedded in a stucco facade were most often used on the upper half of the house as a stylish exterior representation of the home's post and beam framework.

In many cases, brick and stone were used on the lower half of the home, with particular attention paid to the archway over the entrance door. In addition, decorative corner quoins were frequently used in the brick work of the home's facade.



entrances and front details

Commonly, the upper floor would cantilever out over the lower level walls, thereby increasing useable floor space while keeping water run-off away from main level windows and brick in winter, and providing shade in summer.

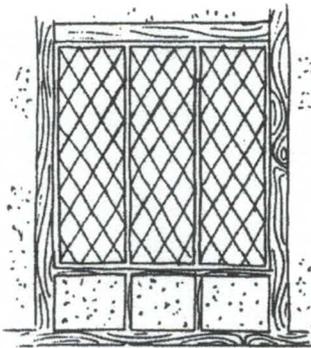
DOORS

Entry doors were oversized planked wood, often doubled and frequently displaying glazed windows.

Carriage house doors - the equivalent of today's garage doors - reflected the style of cross-timbered gables. In order to avoid an overwhelming perception of mass, multiple single garage doors are often specified in today's Tudor designs.

WINDOWS

Several important considerations impacted on the design and use of window elements in the English Tudor style. The emerging use of glass enabled the replacement of cut openings covered by shutters on the outside and tapestries inside. Glass answered the need to bring light into rooms while maintaining the heat from fireplaces in cold weather months.



window grills

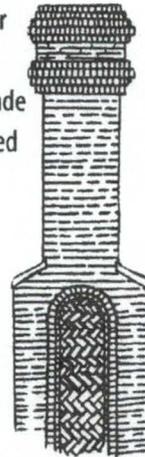
Operable glass windows enabled access to ventilation in warmer months, when cooking fires resulted in overly hot and stuffy interiors.

Tudor era technology was unable to create large single pane windows. Moreover, overly large windows would serve to enhance heat loss in winter. The Tudor design answer to these factors was to feature compact bay windows and tall, thin casement windows grouped in threes or fours. These windows made use of a multitude of small, thick diamond-shaped panes which were leaded together.

CHIMNEYS

In order to ensure proper updrafts from fireplaces throughout the Tudor home, the style made use of tall brick chimneys which were either incorporated into front facades or in clear view from the front of the home.

Owing to their visibility and the fact that these chimneys often shared more than one flue, their design was both highly decorative and massive



large decorative chimneys

GEORGIAN



As England's first four King George's sat on the throne, a wave of royal fantasy was introduced into the country's architecture between 1714 and 1830. With it came the Georgian style and a sense of formal, palatial living. The design was attractive and stately, dignified by its pleasant, symmetrical proportions.

The late Georgian or Federal style born after the American Revolution (1780 - 1820) carried the same regal air while introducing its own crowning touches including pillars, porticos, cupolas, fan lights, window shutters, arched dormers and the use of wood - often painted a pinkish tan - to replace exteriors of red brick and pale Portland stone trim.

ROOFS

Georgian homes usually exhibited a high hip or gable roof, typically with arched dormers to emulate a 2 1/2 storey look. Roof materials were generally black slate or black-painted shingles.

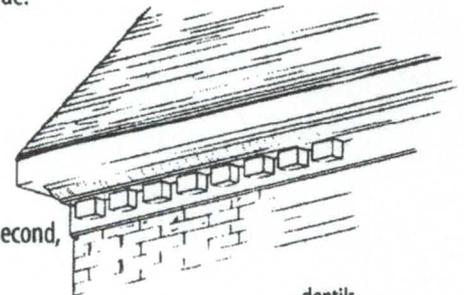
Some roofs, such as in the Federal style, displayed a flat centrally-positioned area commonly surrounded by an ornate railing called a balustrade.

WALLS

Brick and wood were the main materials for exterior walls.

In the case of brick, a belt course or change in the masonry pattern was often introduced where the first floor met the second, creating a band around the middle of the house.

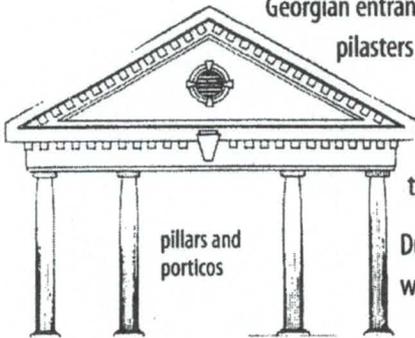
Most period homes featured checkerboard corner quoins extending up to the eaves as an added design element. Small block-shaped dentils were incorporated into the cornice molding at the top of exterior walls.



dentils
(cornice molding)

ENTRANCEWAYS

Georgian entranceways, centrally located on the front facade, were often framed by pilasters - square columns partly built into and partly projecting from the wall.



pillars and porticos

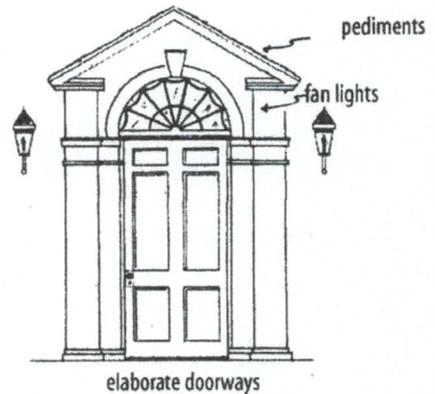
In more elaborate treatments, porticos featuring two or more free-standing pillars formed the entranceway while supporting a balcony or triangular-shaped portico with dentil detailing.

During the Federal Period, arched brick entranceways were introduced as were circular and semi-circular windows above the entrance.

DOORS

Fluted entrance doors were panelled and often accompanied by elegant side lights, pilasters and broken arch pediments.

With the necessity to include garages in today's Georgian designs, carage doors reflect the panelled style and classic elements of traditional Georgian entrance doors.

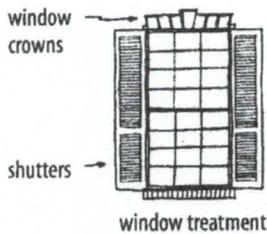


pediments

fan lights

elaborate doorways

WINDOWS



window crowns

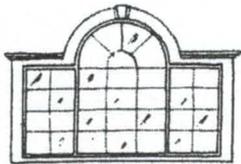
shutters

window treatment

Windows were double hung with multiple panels in each sash, held in place by rectangular muntin bars in grid patterns that are enerally 6 over 9 or 9 over 12.

Lintels above windows typically featured a keystone element or decorative crown molding while window sills were constructed of stone or brick.

Shutters were introduced during the Federal Period as both a decorative and practical fixture.

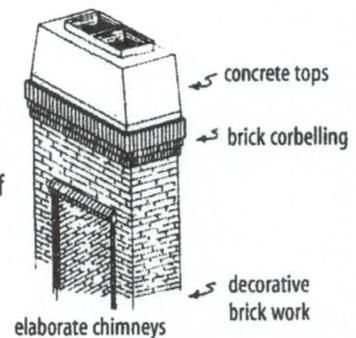


palladian windows

Similarly, Palladian windows and fan lights came to be incorporated into both window and entrance door treatments at this time.

CHIMNEYS

As in the case of English Tudor designs, Georgian brick chimneys were tall, massive and decoratively accented as they were generally in view of the front facade.



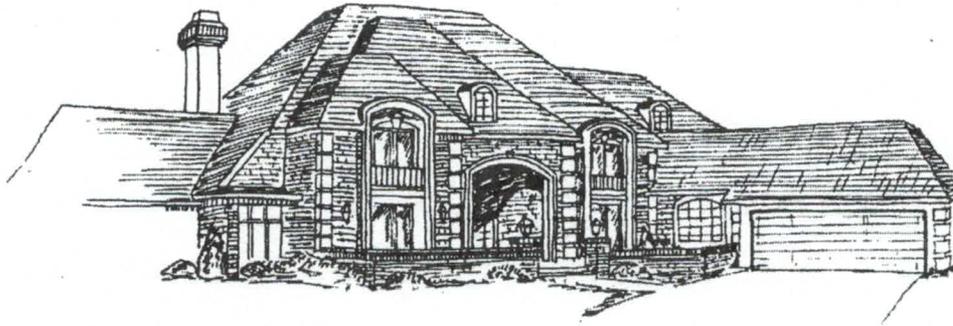
concrete tops

brick corbelling

decorative brick work

elaborate chimneys

FRENCH



From the time of Cartier, the French influence on North American architecture has extended from Montreal to New Orleans in spite of British designs on both the continent and the home styles of its residents.

No doubt French political, cultural and economic support of the 13 original American states during the Revolutionary War, and of the Confederate States during the Civil War, served to expand French impact on this continent's home styles.

Like their Georgian contemporaries, French styles adapted well to American executions, displaying beautiful proportions and a fine formal balance.

ROOFS

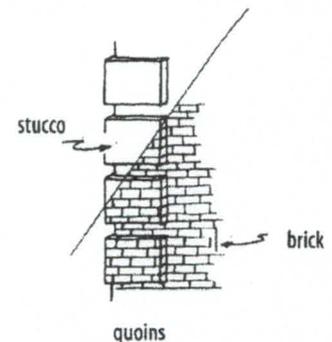
The French style, adapted to North America, is a stately design distinguished by its steep-pitch roofs and extended roof lines broken by numerous dormers to create a 1 1/2 storey or 2 1/2 storey look.

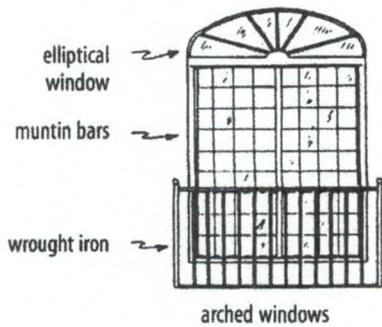
Turreted roof aspects are another common feature of French style - a reflection of castles and the romance of a bygone era.

Arches, another important element of the French-style home, were often used on dormers and to accentuate window tops, roof lines and vents.

WALLS

French style homes are usually 1 1/2 to 2 1/2 storeys high with brick, stone or stucco walls. Brick exteriors have long been a prominent part of French architecture. As in the case of their Georgian counterparts, French architects included stone or brick quoins in their designs to accentuate exterior corners. Similarly, they also specified dentils within cornice moldings at the top of exterior walls.





WINDOWS

Such was the affinity of French architecture for uplifting curvature that arched windows would often break through the roof line where the wall meets the eave.

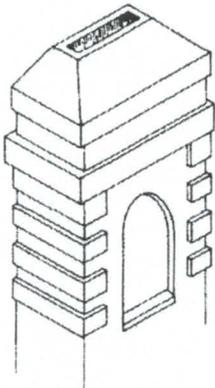
Generally, casement windows were the style of choice, whether arched or not. Often wrought iron accents were used on roof tops and around windows.

ENTRANCEWAYS & DOORS

Many elegant homes featured tall narrow windows flanking a grand two storey entrance.

Double doors were commonly the entrance design feature of choice, displaying raised panels topped by an arched over-frame window treatment.

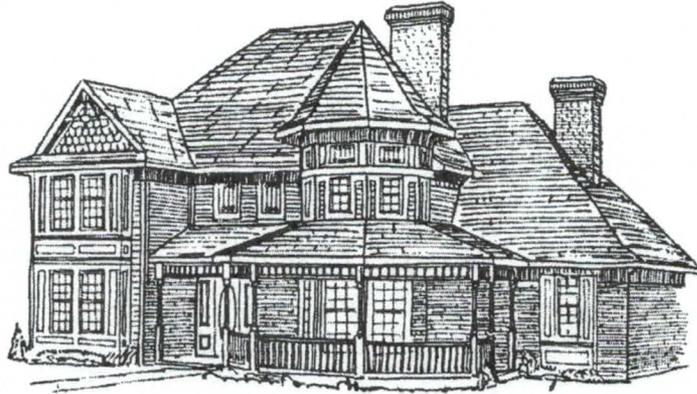
Many contemporary French-style designs reflect the panel relief treatment of entrance doors in their garage door stylings. Overwhelming massiveness is avoided by utilizing multiple single openings.



CHIMNEYS

In comparison to Georgian homes, French style chimneys tended to be more elaborate in their use of crowning corbels, almost by way of emphasis on design sensibilities that attended to even the smallest detail.

VICTORIAN



After the American Civil War and the decline of French political, economic and cultural influence on the southern states, British architectural styles of the era experienced a resurgence of unparalleled fervour in the former colonies.

Early adaptations of Victorian designs popped up all over New England during the 1880's. These two-storey colonial interpretations generally featured grand entries, airy vestibules and some of the best aspects of other styles.

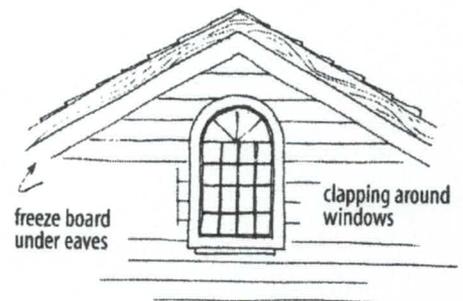
Witness the Georgian dormers and embellished Georgian chimneys together with Federal Period service wings, Dutch roofs, English Tudor steep roof pitches and multiple window panes.

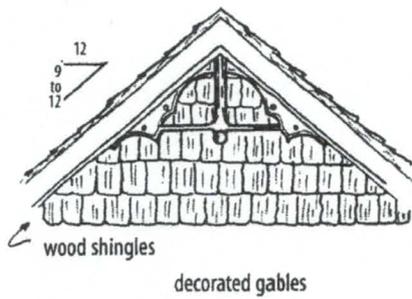
Not to be ignored were fondly recalled and recreated French Provincial turrets and arched windows together with Mediterranean villa verandas and ornate Spanish colonial decorative intricacies.

By the early 20th century, the burgeoning North American middle class had carried this new world adaptation throughout the continent - a testament to the popularity of the Victorian style as a palatial tribute to carefree optimism and relaxed comfort.

ROOFS

Victorian style roof shapes varied considerably, offering a profusion of steep gabled elements at various heights, together with turreted sections and dormers. Wide trim fascia boards provided the finishing touch, while fringe detailing was and continues to be an important aspect of the gable ends. Georgian influence saw dormers added to rooflines in some instances, bringing light and livability to attics.





WALLS

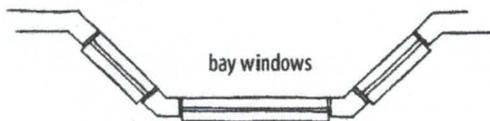
Traditionally, these designs featured an abundance of bevelled horizontal clapboard. Today they're characterized by an extensive and pleasing use of brick, stucco, wood and attention to detail.

Asymmetrical two-storey facades blend contrasting wall materials while incorporating decorative gable ends of wood shingles or clapboards.

WINDOWS

Large, usually multi-pane windows were and are the norm in order to light large rooms.

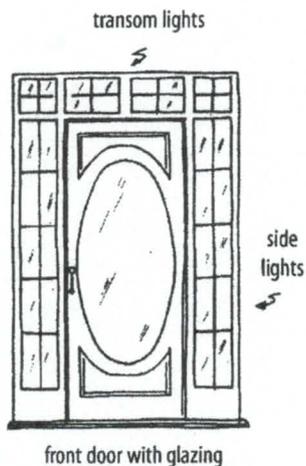
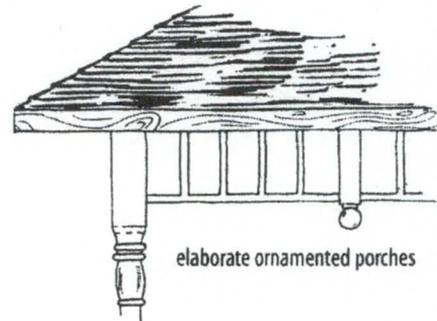
Unpretentious and dignified shutters, most often painted white, accentuated windows often grouped in two's or three's.



Later window treatments included fan lights, bay windows borrowed from English Tudor designs, and arching brickwork to outline windows – a blend of elements from French and Georgian styles.

PORCHES

Early Victorian styles featured a breakfast porch and a living porch at opposite ends of the house, sometimes capped with second storey balconies and commonly decorated with delicately crested spindlework. In later designs, the veranda was stretched to wrap the whole facade and became the style's most predominant element.



DOORS & ENTRANCEWAYS

Wide, central entries warmly greeted visitors to smartly-styled front doors, often featuring decorative glazing complimented by side lights, fan lights, transom lights or pediments.

CHIMNEYS

As in the case of so many Victorian design features, its chimneys borrowed and combined decorative attributes from other styles. In many cases, Victorian chimneys would start with the dignified look of Georgian-style brick chimneys and then modify that style through the addition of decorative top detailing bearing a striking similarity to French designs.